ADDENDUM



ADDENDUM NO: 01

PROJECT: Center Grove MS Central Renovation

PROJECT NO: 2024017 DATE: June 25, 2025 BY: Jack Leibham

This Addendum is issued in accordance with the provisions of "The General Conditions of the Contract for Construction," Article 1, "Contract Documents" and becomes a part of the Contract Documents as provided therein. This Addendum includes:

Addendum Pages:

ADD1-1 through ADD1-4

Attached Drawing Sheets: S201, S701, AD202C, A601, A603, A604, A800, A801A, A801D, A801E, A801F,

A801G, A802D, A810

PART 0 - GENERAL INFORMATION

0.1 NOT USED

PART 1 - BIDDING REQUIREMENTS

1.1 NOT USED

PART 2 - SPECIFICATIONS

2.1 NOT USED

PART 3 - DRAWINGS

STRUCTURAL

- 3.1 <u>S201 ROOF TOP UNIT SUPPORT FRAMING</u>
 - A. The "Mezzanine Floor Framing Plan Unit F", 6/S201 shall be added to this sheet as shown on the attached drawing.
- 3.2 <u>S701 FRAMING SECTIONS AND DETAILS</u>
 - A. "Ex. Slab Infill at Unit F Mezzanine", Section 16/S701, shall be added to this sheet as shown on the attached drawing.

ARCHITECTURAL

3.3 <u>AD202C – UPPER LEVEL DEMOLITION PLAN – UNIT C</u>



- A. Add demolition note 38: remove window shades complete.
- B. Add demolition note 38 to SCHOOL PHYCHOLOGIST OFFICE 222A and SPEECH PATHOLOGIST OFFICE 222B.

3.4 <u>A601 – INTERIOR ELEVATIONS – PERFORMING ARTS</u>

- A. Add dimension and note to 3/A601
- B. Add dimension and note to 8/A601

3.5 <u>A603 – INTERIOR ELEVATIONS</u>

- A. Revise EP8 to EP6 on 9/A603
- B. Revise painted graphics as indicated on 10/A603, 11/A603, 12/A603, 13/A603

3.6 <u>A604 – INTERIOR ELEVATIONS</u>

- A. Add dimensional trojan signage as indicated on 1/A604
- B. Revise wall type as indicated in 2/A604
- C. Revise wall types and add painted graphics as indicated on 3/A604

3.7 <u>A800 – FINISH LEGEND AND NOTES</u>

- A. Revise transitions as indicated.
- B. Revise RF1 and TR1 and as indicated.
- C. Add B2

3.8 <u>A801A – LOWER LEVEL FINISH PLAN – UNIT D</u>

A. Revise WOC to **ETR** in vestibule as indicated.

3.9 A801D – LOWER LEVEL FINISH PLAN – UNIT D

A. Add EP3 tag as indicated.

3.10 <u>A801E – LOWER LEVEL FINISH PLAN – UNIT E</u>

- A. Add F8 finish tag to drinking fountain alcove.
- B. Add F15 finish tag and EP3 wall tag to corridor as indicated.

3.11 <u>A801F – LOWER LEVEL FINISH PLAN – UNIT F</u>

Addendum-1 ADD1-2



- A. Revise B1 to **B2** as indicated
- B. Revise extents of walk off carpet and LVT as indicated.
- C. Add dimensions and F2 finish note as indicated.
- D. Add F8 finish tag to drinking fountain alcove.

3.12 A801G – LOWER LEVEL FINISH PLAN – UNIT G

A. Revise walk off carpet extents and floor pattern plan as indicated.

3.13 A802D – UPPER LEVEL FINISH PLAN – UNIT D

A. Revise WOC to **ETR** in Vestibule 001.

3.14 A810 – LOWER LEVEL OVERALL PLAN - TERRAZZO ALTERNATE

A. Revise terrazzo extents as indicated.

PART 4 - OTHER ITEMS

4.1 NOT USED

PART 5 - QUESTIONS AND ANSWERS

5.1 QUESTION #1

- A. Electrical Demo General Note 2: It states to replace existing switch and receptacle cover plates for devices with recessed back boxes (see spec section 26 27 26, 2.11). The spec section only addresses wall plates and doesn't provide clear guidance on what's required. Are we replacing all cover plates, only those that don't match the spec, or specific ones? If replacements are required, can you provide counts or locations?
 - 1. Device cover plates that do not match the specification are to be replaced. Updated drawings are going to be added by addendum to provide counts and locations.

5.2 QUESTION #2

- A. Electrical General Note 2: The note references removing and reinstalling lighting fixtures, occupancy sensors, loudspeakers, projector pans, security strobes, fire alarm devices, etc., where ceiling grids are being replaced. The drawings identify ceiling replacement areas, but there is no indication of the existing device locations. Can you provide additional information or drawings showing where these devices are located?
 - 1. Updated drawings to be added by addendum to provide quantity of lighting, security strobes, and UV light locations affected by ceiling replacement.

5.3 QUESTION #3

Addendum-1 ADD1-3



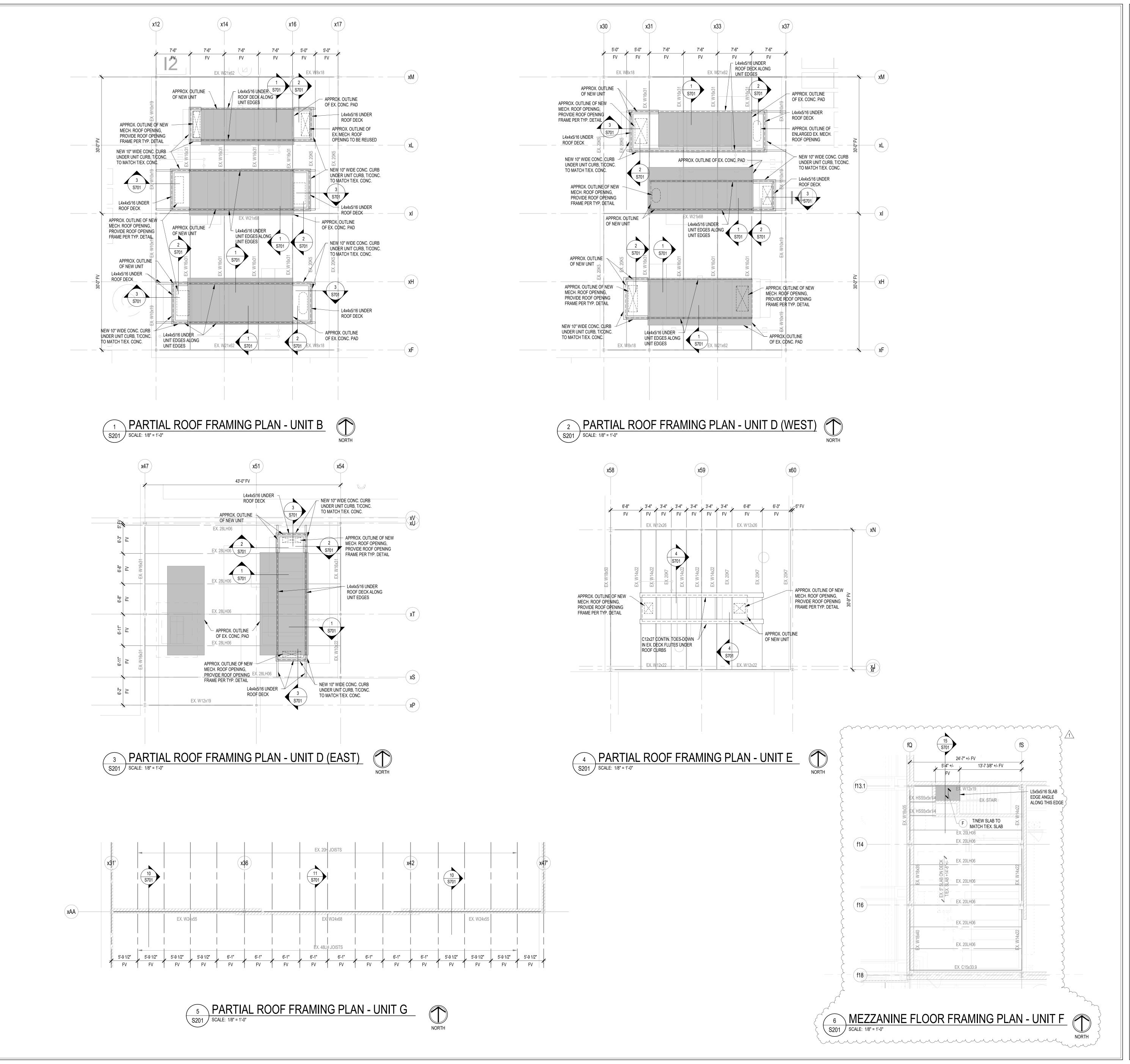
- A. Electrical General Note 3: The note references relocating existing UV light units where they conflict with new HVAC ductwork. There is no information on the existing UV light locations—how should we identify where conflicts exist?
 - 1. The UV light affected would be where new ductwork would be installed. If the UV lights would need to be relocated it would most likely be by a ceiling tile and the electrical connection would not need to be extended.

5.4 QUESTION #4

- A. What power requirements are needed for the volleyball net system in both the East and West gyms?
 - 1. West gym volleyball net system removed from scope. East gym requirements are included on drawing E211F.

END ADDENDUM #1

Addendum-1 ADD1-4



FRAMING PLAN NOTES

- 1. REF. S001 FOR STRUCTURAL NOTES, DESIGN DATA, SCHEDULES & LEGENDS.
- REF. THE S700 SERIES FOR TYPICAL FRAMING DETAILS.
 ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH ALL
- DISCIPLINES TO AVOID CONFLICTS. THE MECHANICAL, ELECTRICAL, AND PLUMBING ASPECTS ARE NOT IN THE SCOPE OF THESE DRAWINGS. THEREFORE, ALL REQUIRED MATERIALS AND WORK MAY NOT BE INDICATED.
- 4. ALL ELEVATIONS ARE REFERENCED FROM THE EXISTING FIRST FLOOR FIN. FLOOR ELEVATION +0'-0". VERIFY USGS ELEVATION WITH CIVIL DWGS.
- ALL WALLS SHALL BE LAID OUT FROM THE ARCHITECTURAL DRAWINGS.
 REF. ARCH. DRAWINGS. FOR ALL DIMENSIONS NOT SHOWN. CONTRACTOR
- SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

 7. COORDINATE EXACT SIZE & LOCATION OF ANY MECHANICAL OPENINGS IN FLOOR SLAB, ROOF DECK, OR WALLS WITH THE MEP CONTRACTOR(S).
- VERIFIED PRIOR TO CONSTRUCTION.

 8. ALL ELEVATIONS SHOWN ON PLAN INDICATE TOP OF STEEL BEAM UNLESS NOTED OTHERWISE.

LOCATION & SIZE OF ALL DUCT OPENINGS, GRILLES, ETC. SHALL BE

- 9. PROVIDE FRAMES AT ALL ROOF DRAINS, ROOF HATCHES & OTHER ROOF OPENINGS PER TYPICAL DETAILS ON S701. COORD. EXACT NUMBER, LOCATIONS &
- DIMENSIONS WITH THE APPROPRIATE CONTRACTORS & THE ARCH. & MEP DWGS.

 10. ALL EXISTING CONSTRUCTION SHOWN IN PLAN AND/OR SECTION WAS DERIVED FROM EXISTING DWGS. AND SHALL BE FIELD VERIFIED. IF ANY
- DISCREPANCIES ARE DISCOVERED BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL CONDITIONS, IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER FOR DIRECTION BEFORE PROCEEDING WITH WORK.
- 11. SIZES AND LOCATIONS OF ROOF MOUNTED MECHANICAL UNITS SHOWN ON PLAN IS FOR REFERENCE ONLY AND EXACT SIZES AND LOCATIONS OF ALL MECHANICAL ROOF TOP EQUIPMENT SHALL BE COORDINATED WITH EXISTING CONDITIONS AND THE EQUIPMENT SUPPLIER.

12. PLAN LEGEND:

DENOTES FIN. FLOOR
DENOTES TOP OF STEEL, SLAB, ETC.
DENOTES BOTTOM OF LINTEL, ETC.
DENOTES EXISTING CONSTRUCTION

www.www.www

KEYPLAN

B/X' DENOTES BOTTOM OF LINTEL, ETC.
EX. DENOTES EXISTING CONSTRUCTION

DENOTES APPROX. LOCATION OF OPENING IN
DECK/SLAB. REF. DETAILS ON S701 FOR TYPICAL
OPENING FRAMES.

DENOTES 2", 20 GA. GALVANIZED COMPOSITE DECK w/ 3" N.W. CONC SLAB w/ 6x6-W2.1xW2.1 WWF, TOTAL 't' = 5".

Lynch,
Harrison &
Brumleve,
Inc.
P 317.423.1550
F 317.423.1551

ginia Avenue P 317 poolis, IN 46203 F 317

SPORATION

MS CENTRAL

ATION

ATION

AREENWOOD IN

SCHO SCHO CENTER 4900 W STONES

SCOPE DRAWINGS:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

REVISIONS:

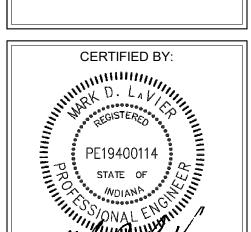
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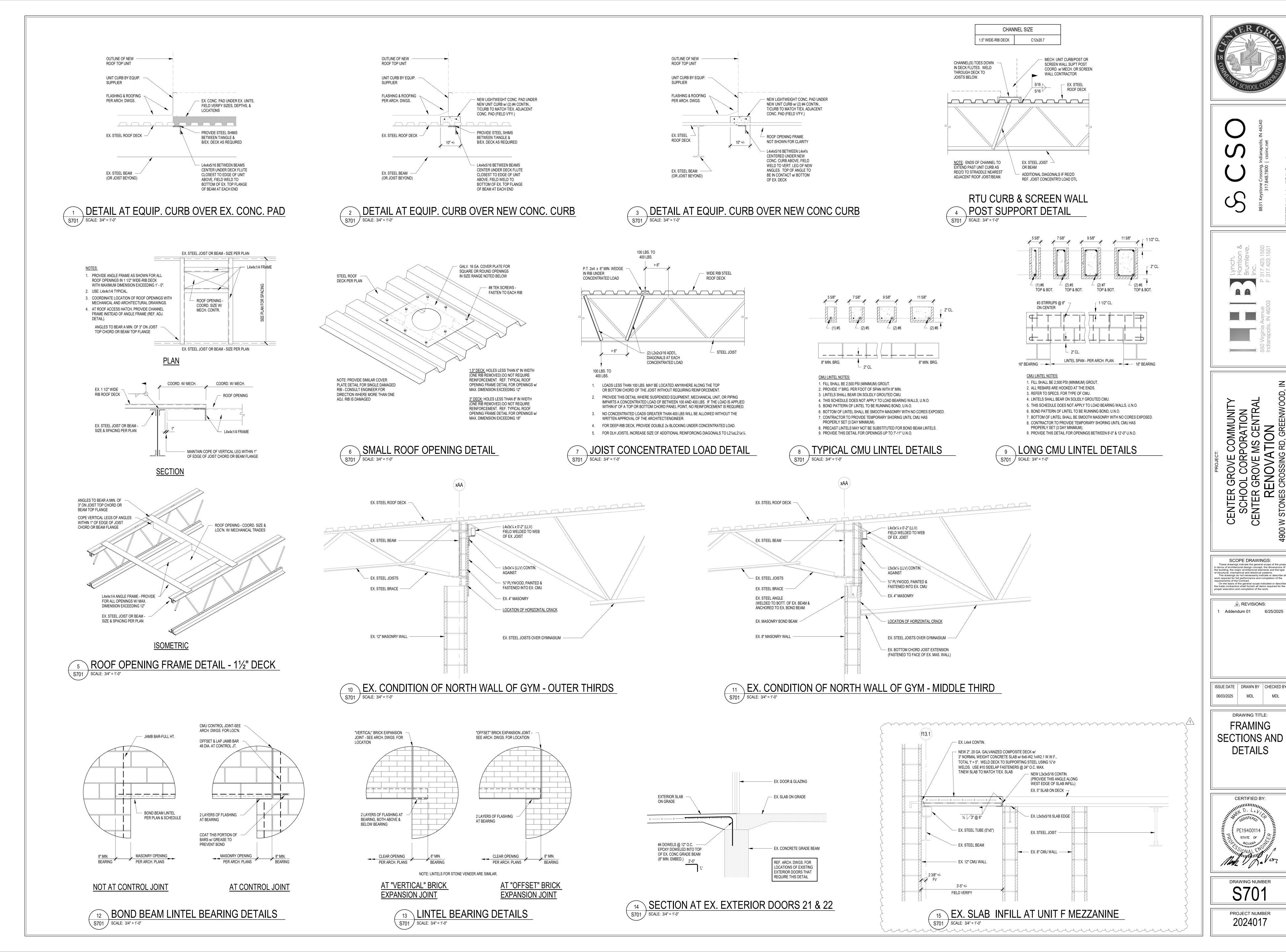
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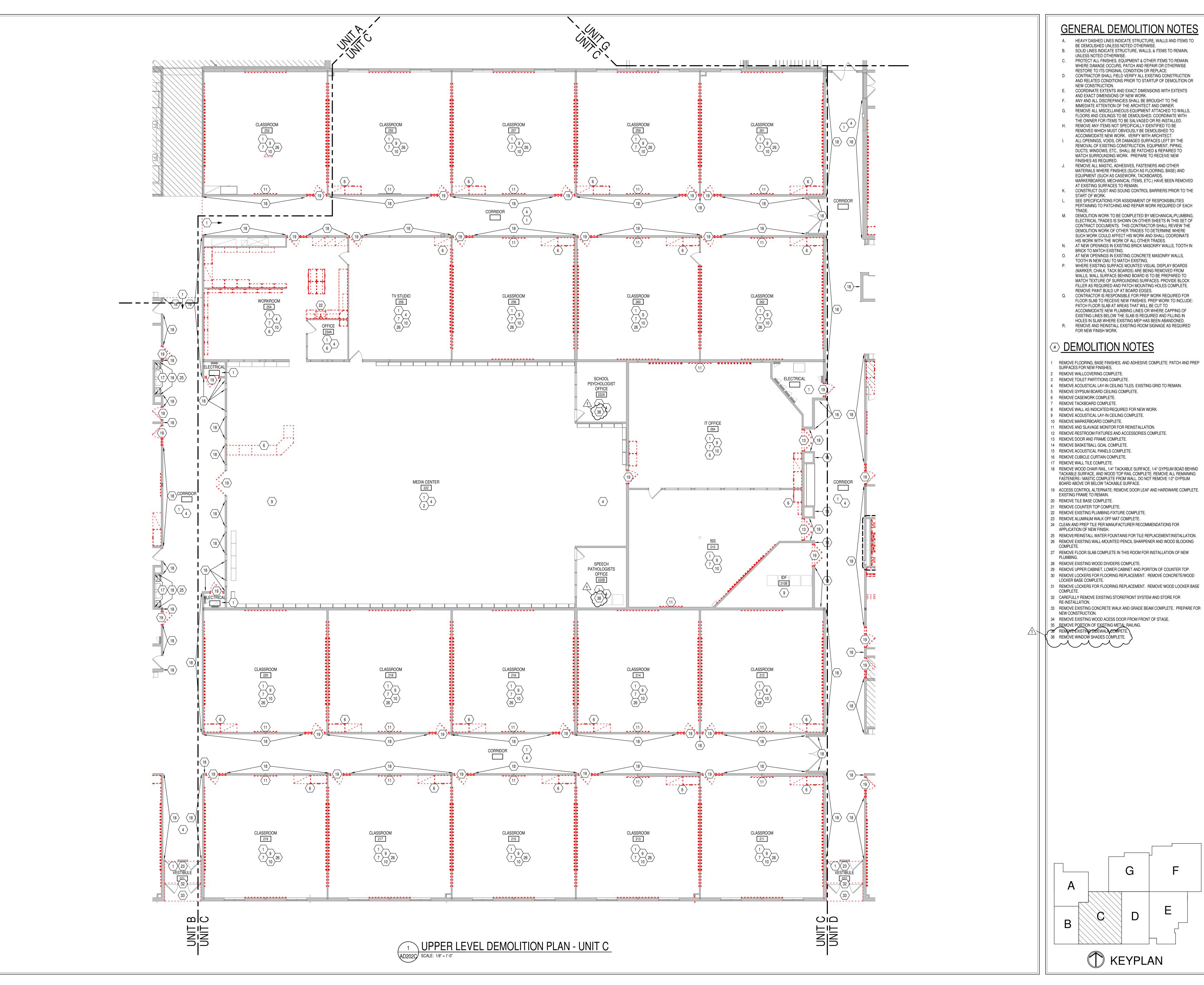
06/03/2025

ROOF TOP UNIT
SUPPORT
FRAMING PLANS



DRAWING NUMBER
S201







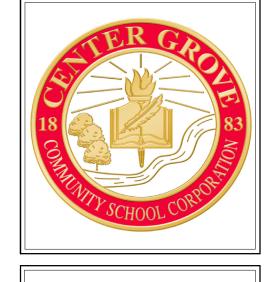
- A. HEAVY DASHED LINES INDICATE STRUCTURE, WALLS AND ITEMS TO
- BE DEMOLISHED UNLESS NOTED OTHERWISE. B. SOLID LINES INDICATE STRUCTURE, WALLS, & ITEMS TO REMAIN,
- PROTECT ALL FINISHES, EQUIPMENT & OTHER ITEMS TO REMAIN.
- WHERE DAMAGE OCCURS, PATCH AND REPAIR OR OTHERWISE RESTORE TO ITS ORIGINAL CONDITION OR REPLACE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION AND RELATED CONDITIONS PRIOR TO STARTUP OF DEMOLITION OR
- E. COORDINATE EXTENTS AND EXACT DIMENSIONS WITH EXTENTS AND EXACT DIMENSIONS OF NEW WORK.
- G. REMOVE ALL MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS AND CEILINGS TO BE DEMOLISHED. COORDINATE WITH THE OWNER FOR ITEMS TO BE SALVAGED OR RE-INSTALLED.
- ACCOMMODATE NEW WORK. VERIFY WITH ARCHITECT. ALL OPENINGS, VOIDS, OR DAMAGED SURFACES LEFT BY THE REMOVAL OF EXISTING CONSTRUCTION, EQUIPMENT, PIPING, DUCTS, WINDOWS, ETC., SHALL BE PATCHED & REPAIRED TO MATCH SURROUNDING WORK. PREPARE TO RECEIVE NEW
- REMOVE ALL MASTIC, ADHESIVES, FASTENERS AND OTHER MATERIALS WHERE FINISHES (SUCH AS FLOORING, BASE) AND EQUIPMENT (SUCH AS CASEWORK, TACKBOARDS, MARKERBOARDS, MECHANICAL ITEMS, ETC.) HAVE BEEN REMOVED
- AT EXISTING SURFACES TO REMAIN. K. CONSTRUCT DUST AND SOUND CONTROL BARRIERS PRIOR TO THE
- SEE SPECIFICATIONS FOR ASSIGNMENT OF RESPONSIBILITIES PERTAINING TO PATCHING AND REPAIR WORK REQUIRED OF EACH
- M. DEMOLITION WORK TO BE COMPLETED BY MECHANICAL/PLUMBING, ELECTRICAL TRADES IS SHOWN ON OTHER SHEETS IN THIS SET OF CONTRACT DOCUMENTS. THIS CONTRACTOR SHALL REVIEW THE DEMOLITION WORK OF OTHER TRADES TO DETERMINE WHERE SUCH WORK COULD AFFECT HIS WORK AND SHALL COORDINATE
- HIS WORK WITH THE WORK OF ALL OTHER TRADES. N. AT NEW OPENINGS IN EXISTING BRICK MASONRY WALLS, TOOTH IN
- O. AT NEW OPENINGS IN EXISTING CONCRETE MASONRY WALLS, TOOTH IN NEW CMU TO MATCH EXISTING.
- (MARKER, CHALK, TACK BOARDS) ARE BEING REMOVED FROM WALLS, WALL SURFACE BEHIND BOARD IS TO BE PREPARED TO MATCH TEXTURE OF SURROUNDING SURFACES. PROVIDE BLOCK FILLER AS REQUIRED AND PATCH MOUNTING HOLES COMPLETE.
- CONTRACTOR IS RESPONSIBLE FOR PREP WORK REQUIRED FOR FLOOR SLAB TO RECEIVE NEW FINISHES. PREP WORK TO INCLUDE: PATCH FLOOR SLAB AT AREAS THAT WILL BE CUT TO ACCOMMODATE NEW PLUMBING LINES OR WHERE CAPPING OF EXISTING LINES BELOW THE SLAB IS REQUIRED AND FILLING IN
- R. REMOVE AND REINSTALL EXISTING ROOM SIGNAGE AS REQUIRED

DEMOLITION NOTES

- REMOVE FLOORING, BASE FINISHES, AND ADHESIVE COMPLETE. PATCH AND PREP
- REMOVE ACOUSTICAL LAY-IN CEILING TILES. EXISTING GRID TO REMAIN.
- 8 REMOVE WALL AS INDICATED/REQUIRED FOR NEW WORK.

- TACKABLE SURFACE, AND WOOD TOP RAIL COMPLETE. REMOVE ALL REMAINING FASTENERS / MASTIC COMPLETE FROM WALL. DO NOT REMOVE 1/2" GYPSUM
- 19 ACCESS CONTROL ALTERNATE: REMOVE DOOR LEAF AND HARDWARE COMPLETE.
- 22 REMOVE EXISTING PLUMBING FIXTURE COMPLETE.
- 24 CLEAN AND PREP TILE PER MANUFACTURER RECOMMENDATIONS FOR
- 25 REMOVE/REINSTALL WATER FOUNTAINS FOR TILE REPLACEMENT/INSTALLATION. 26 REMOVE EXISTING WALL-MOUNTED PENCIL SHARPENER AND WOOD BLOCKING
- 27 REMOVE FLOOR SLAB COMPLETE IN THIS ROOM FOR INSTALLATION OF NEW
- 29 REMOVE UPPER CABINET, LOWER CABINET AND PORITON OF COUNTER TOP.
- 30 REMOVE LOCKERS FOR FLOORING REPLACEMENT. REMOVE CONCRETE/WOOD

- 34 REMOVE EXISTING WOOD ACESS DOOR FROM FRONT OF STAGE.



SCOPE DRAWINGS: These drawings indicate the general scope of the projet in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

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On the basis of the general scope indicated or descri the trade contractors shall furnish all items required for the proper execution and completion of the work.

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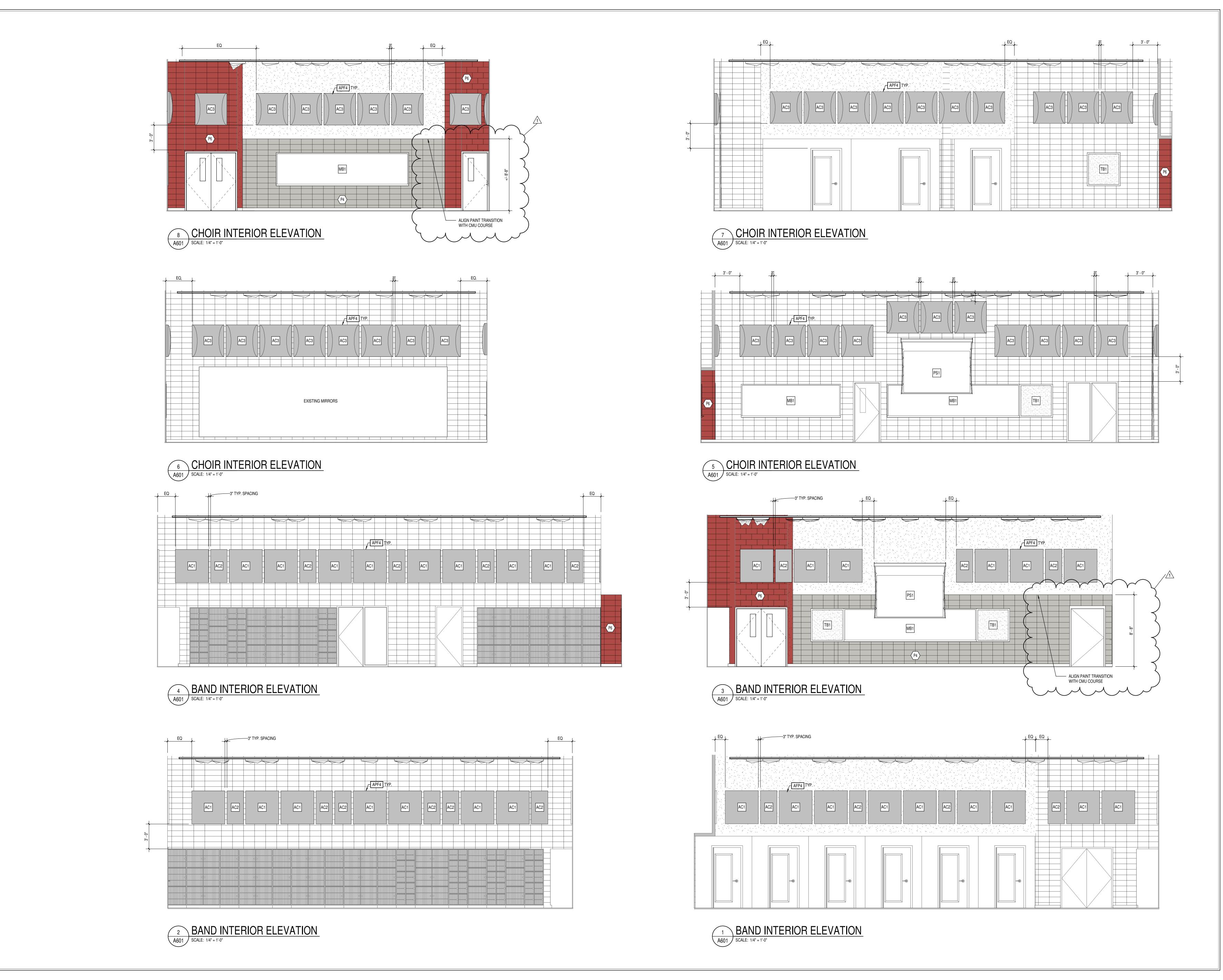
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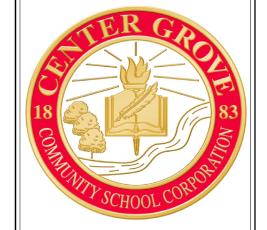
DRAWING TITLE: UPPER LEVEL PLAN - UNIT C

BCH

CERTIFIED BY: No. AR11700184 STATEOF

DRAWING NUMBER AD202C PROJECT NUMBER 2024017





S831 Keystone Crossing, Indianapolis, IN 46240 317.848.7800 | csoinc.net

CENTER GROVE COMMUNITY
SCHOOL CORPORATION
CENTER GROVE MS CENTRAL
RENOVATION
00 W STONES CROSSING RD, GREENWOOD, IN

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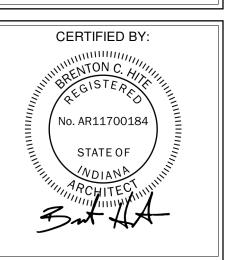
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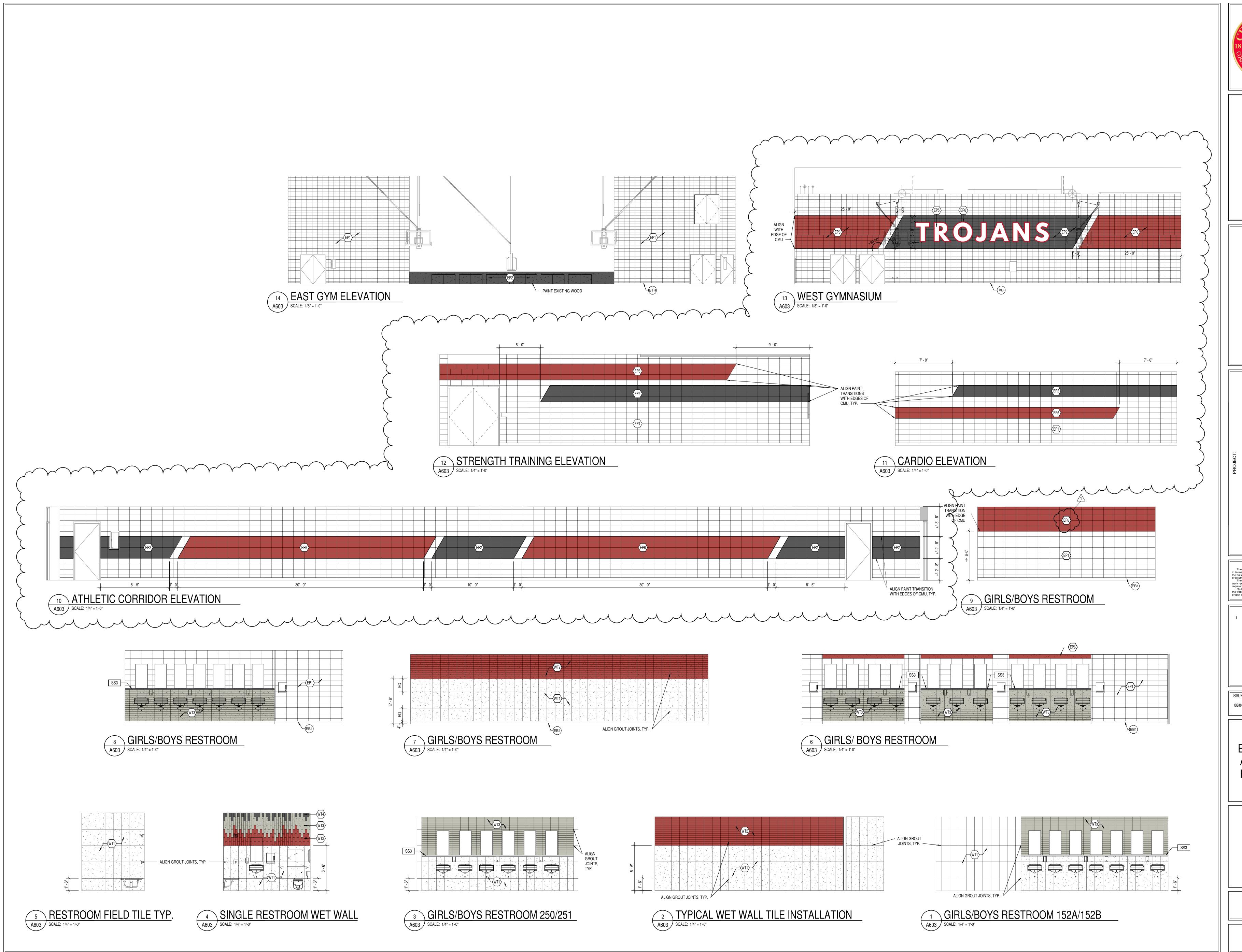
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INTERIOR
ELEVATIONS PERFORMING
ARTS



A601





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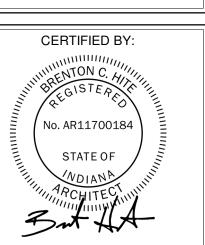
CENTER GROVE COMMUNITY
SCHOOL CORPORATION
CENTER GROVE MS CENTRAL
RENOVATION
W STONES CROSSING RD, GREENWOOD,

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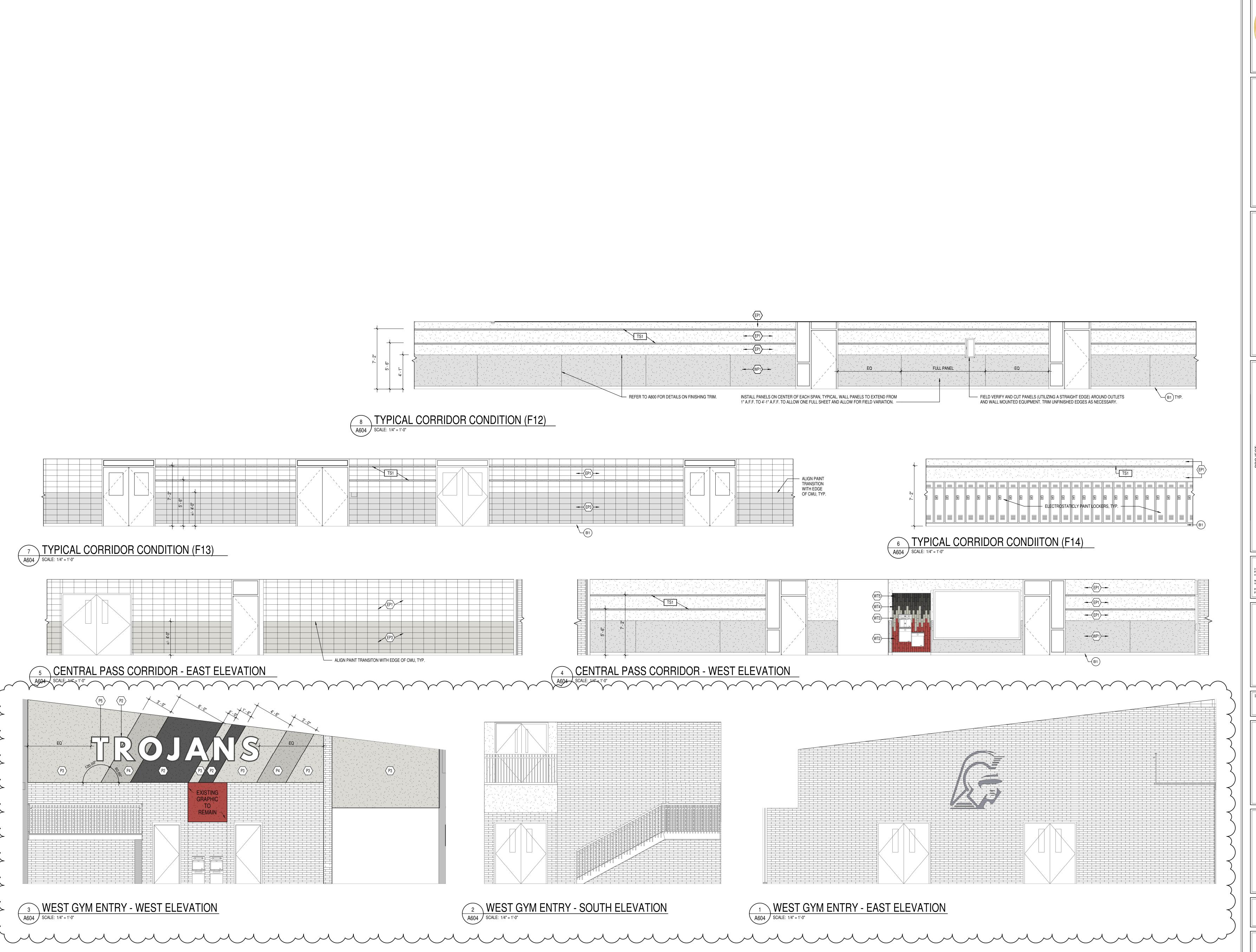
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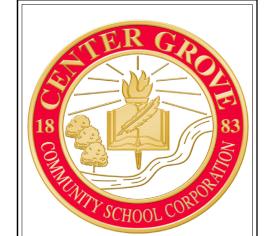
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INTERIOR
ELEVATIONS ATHLETICS &
RESTROOMS



A603





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CENTER GROVE COMMUNITY
SCHOOL CORPORATION
CENTER GROVE MS CENTRAL
RENOVATION

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INTERIOR
ELEVATIONS

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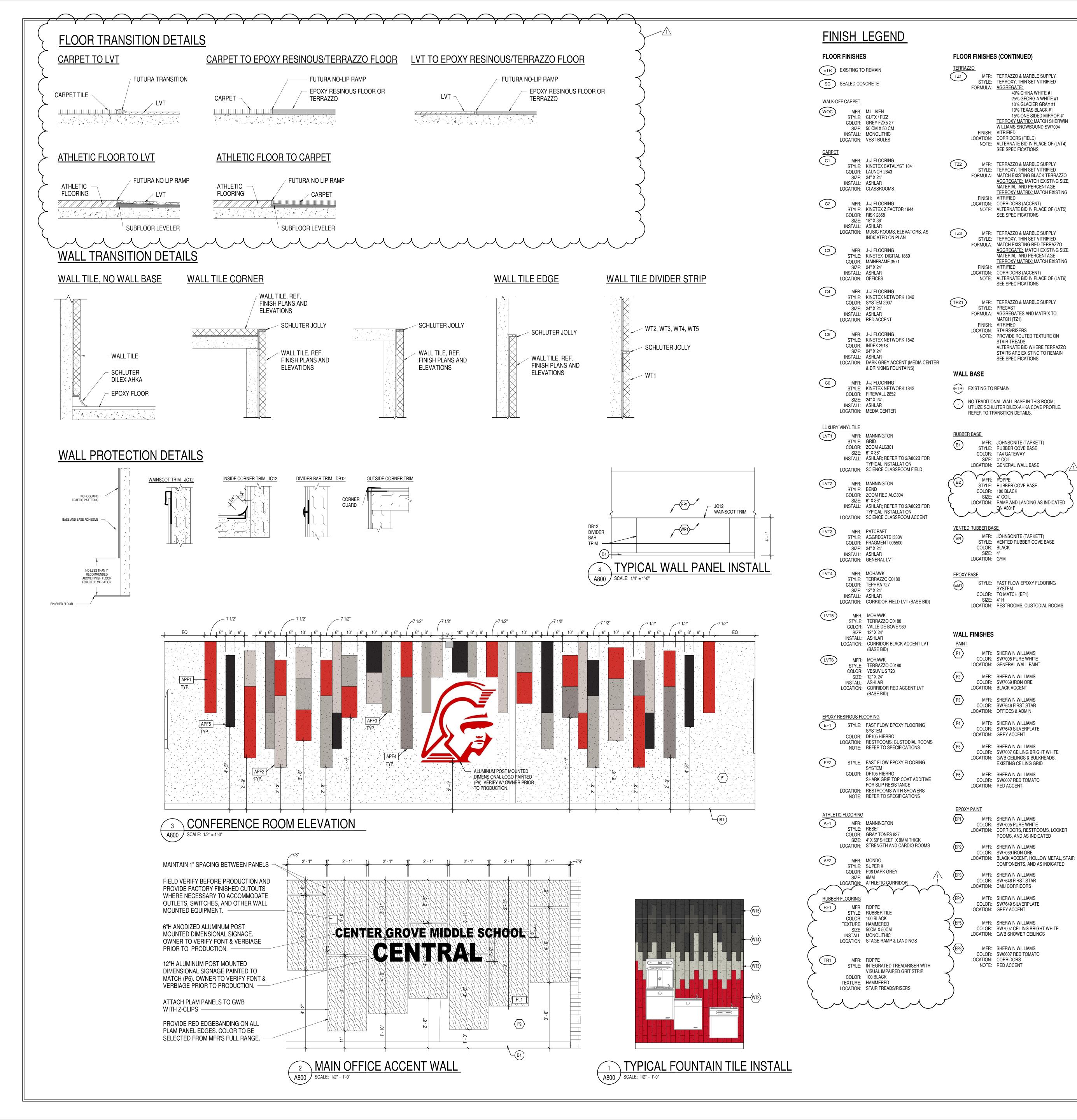
WITH ARCHITECTURE

No. AR11700184

STATE OF

NO. AR11700184

A604



PROPERLY CLEANED.

WALL FINISHES (CONTINUED)

MFR: KOROSEAL

COLOR: ZYDECO R92106

SIZE: 4'-0" X 10'-0" X 0.40"

MFR: PLATFORM SURFACES

STYLE: URBAN LIMESTONE

SIZE: 12" X 24" RECTIFIED

LOCATION: RESTROOM FIELD TILE

COLOR: LIPSTICK RED GLOSS

ELEVATIONS

FOUNTAINS

ELEVATIONS

FOUNTAINS

INSTALL: VERTICAL STACK BOND

MFR: CROSSVILLE (VIA LOUISVILLE TILE)

INSTALL: VARIES PER LOCATION: REFER TO

MFR: CROSSVILLE (VIA LOUISVILLE TILE)

INSTALL: VARIES PER LOCATION; REFER TO

MFR: CROSSVILLE (VIA LOUISVILLE TILE)

INSTALL: VARIES PER LOCATION; REFER TO

MFR: CROSSVILLE (VIA LOUISVILLE TILE)

INSTALL: VARIES PER LOCATION; REFER TO

LOCATION: RESTROOM ACCENT & DRINKING

COLOR: WHITE AVENUE

STYLE: SWATCHES

SIZE: 3" X 12"

CASEWORK AND COUNTERTOPS

MFR: FORMICA

MFR: FORMICA

FINISH: MATTE 58

MFR: CORIAN

MFR: KRION

LOCATION: RESTROOMS

MFR: DURCON

THICKNESS: 1 1/4"

COLOR: BLACK ONYX

LOCATION: SCIENCE CLASSROOMS

EDGE PROFILE: MACHINED RADIUS

MFR: CLARIDGE

COLOR: 1103 OYSTER

LOCATION: ALL TACK SURFACES

MFR: CARNEGIE XOREL

PATTERN: METEOR 6427

LOCATION: ADMIN ARTFORM

PATTERN: METEOR 6427

COLOR: 753 (WHITE)

LOCATION: ADMIN ARTFORM

PATTERN: METEOR 6427

LOCATION: ADMIN ARTFORM

PATTERN: METEOR 6427

PATTERN: METEOR 6427

COLOR: 2023 (BLACK)

LOCATION: ADMIN ARTFORM

MFR: CARNEGIE XOREL

MFR: CARNEGIE XOREL

MFR: CARNEGIE XOREL

COLOR: 2001 (DARK GREY)

MFR: CARNEGIE XOREL

LOCATION: ADMIN ARTFORM, MUSIC ROOMS

COLOR: 2022 (MEDIUM GREY)

COLOR: 727 (RED)

STYLE: ROYAL + SERIES

COLOR: BLACK MIRROR XL 9906

STYLE: EPOXY RESIN COUNTERTOPS

LOCATION: COUNTERTOPS W/ SINKS

COLOR: DOVE

SS2 NOT USED THIS PHASE

EPOXY COUNTERTOPS

MISCELLANEOUS

ACOUSTIC PANEL FABRIC

TACK SURFACE

STYLE: WHITE TWILL

STYLE: AGED ASH 8844

INSTALL: VERTICAL GRAIN

FINISH: WOODBRUSH WR

LOCATION: GENERAL CASEWORK

LOCATION: GENERAL COUNTERTOPS W/O SINKS

ETR EXISTING TO REMAIN

PLASTIC LAMINATE

SOLID SURFACE

COLOR: COAL GLOSS

COLOR: SHADOW GLOSS

FI EVATIONS

FOUNTAINS

ELEVATIONS

FOUNTAINS

COLOR: STONE GLOSS

PATTERN: ORLEANS

LOCATION: CORRIDORS

STYLE: KOROGARD/TRAFFIC PATTERNS

INSTALL: REFER TO 4/A800 FOR TYPICAL

INSTALLATION; DO NOT INSTALL ON CMU

WALL PROTECTION PANELS

- ANY DISCREPANCIES WITHIN THE DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF CSO ARCHITECTS PRIOR TO INSTALLATION, THESE DOCUMENTS WILL GOVERN OVER PREVIOUS SUPPLEMENTAL DRAWINGS.
- THE SCHEDULED MATERIALS SHALL NOT BE INSTALLED BEFORE THE CONTRACTORS ACTUAL COLOR SUBMITTALS HAVE BEEN APPROVED, AS CALLED FOR IN THE SPECIFICATIONS. IF ANY MATERIAL IS INSTALLED BEFORE APPROVAL, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL ERRONEOUS
- SPECIFICATIONS. ALL SURFACES RECEIVING FINISHES SHALL BE PROPERLY PREPARED PER MANUFACTURERS SPECIFICATIONS PRIOR TO INSTALLATION. CONTRACTOR
- SHALL BE RESPONSIBLE FOR FIELD VERIFYING CONDITIONS. WHERE DEMOLITION OCCURS, SURFACE IS TO BE PROPERLY PATCHED AND REPAIRED TO MATCH ANY SURROUNDING SURFACES BEFORE FINISH IS APPLIED. CONTRACTOR RESPONSIBLE FOR PROTECTING ALL FINISHES EXISTING TO REMAIN DURING CONSTRUCTION PROCESS. ALL SURFACES TO REMAIN SHALL BE
- ALL EXISTING ADA SIGNAGE TO BE REMOVED AND REINSTALLED AFTER FINISH WORK IS COMPLETE. NEW SIGNAGE TO MATCH EXISTING. FOR CHANGE IN FLOOR FINISH MATERIAL OF DIFFERENT HEIGHTS, PROVIDE TRANSITION STRIP TO MEET CODE/ADA REQUIREMENTS. IF TRANSITION OCCURS AT DOOR OPENING, TRANSITION TO BE ON CENTER OF DOOR LEAF/PANEL, U.N.O.. SEE TRANSITION DETAILS ON A800 FOR ADDITIONAL INFORMATION.
- 8. SEE INTERIOR PAINT SPECIFICATIONS FOR SCHEDULE OF COATING TYPE PER SUBSTRATE. 9. PAINT WALLS BEFORE INSTALLING MARKER BOARDS, TACKBOARDS, ETC.
- 10. ALL WALL MOUNTED GRILLES, METAL PANELS, MISC. METALS, ETC. ARE TO BE PAINTED TO MATCH THE ADJACENT WALL FINISH U.N.O.
- 11. DO NOT PAINT EXISTING INTERIOR BRICK, APPLY (B1) ONLY TO BRICK WALLS
- WHERE RUBBER BASE HAS BEEN DEMOLISHED. 12. ALL COLUMNS TO BE PAINTED TO MATCH ADJACENT WALLS.
- 13. EXISTING CORRIDOR LOCKERS TO BE ELECTROSTATICALLY PAINTED TO MATCH LYON DOVE GRAY DD. LOCKER ROOM LOCKERS EXISTING TO REMAIN. 14. ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED (EP2).
- 15. ALL EXISTING METAL STAIR AND RAMP COMPONENTS, INCLUDING RAILINGS AND STRINGERS, TO BE ELECTROSTATICALLY PAINTED (EP2). 16. NEW WOOD DOORS TO MATCH EXISTING SPECIES AND STAIN OF EXISTING WOOD
- 7. WHEN INSTALLING (WP1), FINISH OUTSIDE CORNERS WITH COORDINATING SURFACE APPLIED CORNER GUARDS FROM TOP OF BASE TO APPROXIMATELY 1" HIGHER THAN WAINSCOT MATERIAL. UTILIZE KORSEAL'S ALUMINUM TRIM ON INSIDE CORNERS (IC12), BETWEEN SHEETS (DB12), TOP OF WAINSCOT MATERIAL (JC12), AND ANYWHERE CUT, UNFINISHED EDGES OCCUR (JC12).
- 18. ALL OUTSIDE GYPSUM BOARD CORNERS ARE TO RECEIVE SURFACE MOUNTED CORNER GUARDS AND EXTEND FROM TOP OF WALL BASE TO 7'-0" A.F.F., UNLESS OTHERWISE NOTED. COLOR TO BE SELECTED FROM MFR'S FULL RANGE. 19. WHERE WALL TILE OCCURS, SCHLUTER JOLLY IN BRUSHED STAINLESS STEEI
- FINISH TO BE USED AT WAINSCOT CAPS, OUTSIDE CORNERS, BETWEEN TILE TYPES, OR AT ANY OTHER UNFINISHED EDGES. WALL TILE TO BE INSTALLED WITH THE MINIMUM RECOMMENDED GROUT THICKNESS PER TILE MANUFACTURER. 20. CUBICLE CURTAIN FABRIC TO BE SELECTED FROM MFR'S FULL RANGE.

21. COLOR FOR NEW GYM WALL PADS TO BE SELECTED FROM MFR'S FULL RANGE.

22. COLOR FOR NEW ACOUSTIC CURTAINS TO BE SELECTED FROM MFR'S FULL

23. SOLID PLASTIC TOILET PARTITIONS TO BE SELECTED FROM MFR'S FULL RANGE AND COMPLY WITH NFPA286.

FINISH TAG KEY

- (XXX) FLOOR FINISH
- WALL FINISH
- XXX HORIZONTAL FINISH (COUNTERTOP) VERTICAL FINISH (CASEWORK)
- COUNTERTOP, CASEWORK OR MISCELLANEOUS FINISH ONLY REFER TO FINISH LEGEND
- ACCENT WALL FINISH
- FLOORING INSTALL DIRECTION

FINISH PLAN NOTES

- 1 NO FINISH WORK IN THIS ARE UNLESS NOTED OTHERWISE.
- F2 ALIGN FINISH TRANSITION AS INDICATED ON PLAN. F3 FINISHES TO MATCH ADJACENT ROOM. F4 PATCH FINISHES AS REQUIRED.
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SCOPE DRAWINGS: uctural, mechanical and electrical systems. he drawings do not necessarily indicate or describe a On the basis of the general scope indicated or descri proper execution and completion of the work.

REVISIONS:

ADDENDUM #1 06-25-2025

ISSUE DATE | DRAWN BY | CHECKED BY

JSK

DRAWING TITLE: FINISH LEGEND

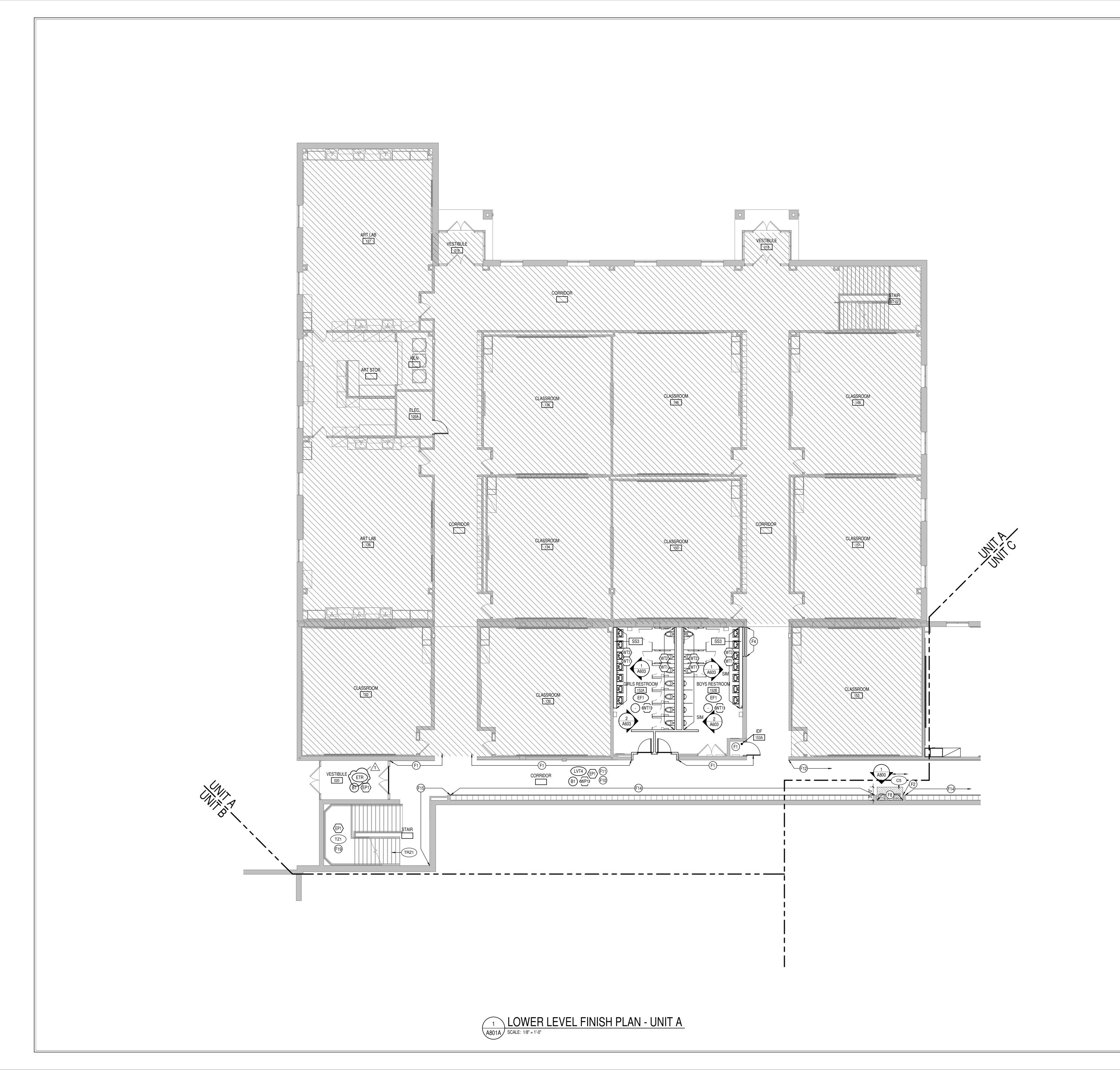
KLV

& NOTES

06/04/2025

CERTIFIED BY: No. AR11700184 STATEOF

DRAWING NUMBER A800



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- 23. SOLID PLASTIC TOILET PARTITIONS TO BE SELECTED FROM MFR'S FULL RANGE AND COMPLY WITH NFPA286.

FINISH TAG KEY

XXX FLOOR FINISH

BASE FINISH

XX WALL FINISH

XXX HORIZONTAL FINISH (COUNTERTOP)
XXX VERTICAL FINISH (CASEWORK)

COUNTERTOP, CASEWORK OR MISCELLANEOUS FINISH ONLY REFER TO FINISH LEGEND

ACCENT WALL FINISH

- FLOORING INSTALL DIRECTION

FE FINISH PLAN NOTES

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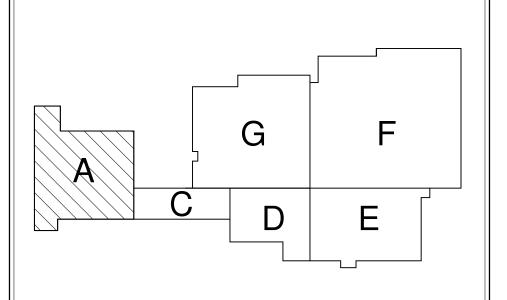
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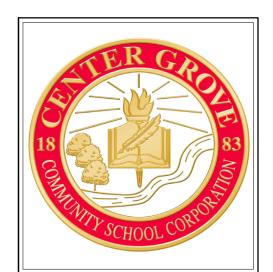
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8831 Keystone Crossing, Indianapolis, IN 46240 317.848.7800 | csoinc.net

SCHOOL CORPORATION
CENTER GROVE MS CENTRAL
RENOVATION

SCOPE DRAWINGS:

These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract.

On the basis of the general scope indicated or described, the trade contractors shall furnish all items required for the proper execution and completion of the work.

REVISIONS:

ADDENDUM #1 06-25-2025

ISSUE DATE DRAWN BY CHECKED BY 06/04/2025 KLV JSK

DRAWING TITLE:

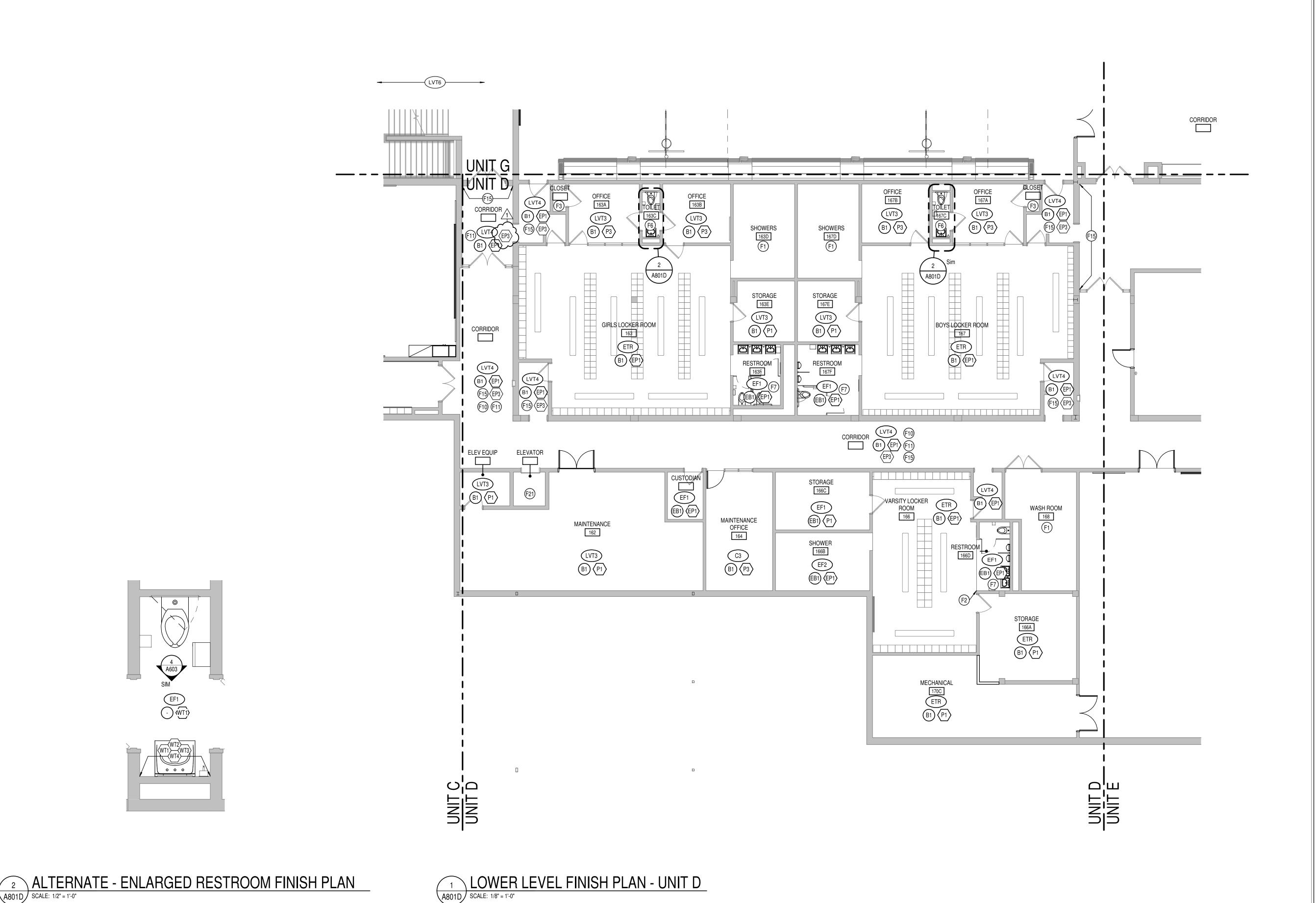
LOWER LEVEL

FINISH PLAN -

CERTIFIED BY:

WHITE MATCH CONTROL OF THE MATCH CON

DRAWING NUMBER
A801A



A801D SCALE: 1/2" = 1'-0"

GENERAL FINISH NOTES

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FINISH TAG KEY

(XXX) FLOOR FINISH

XX BASE FINISH

XX WALL FINISH

HORIZONTAL FINISH (COUNTERTOP) VERTICAL FINISH (CASEWORK)

COUNTERTOP, CASEWORK OR MISCELLANEOUS FINISH ONLY REFER TO FINISH LEGEND

ACCENT WALL FINISH

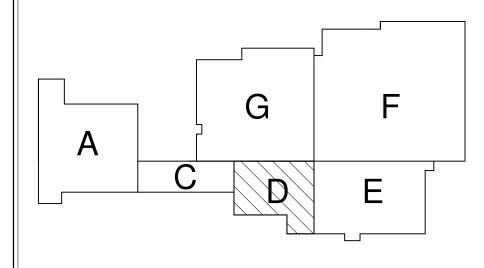
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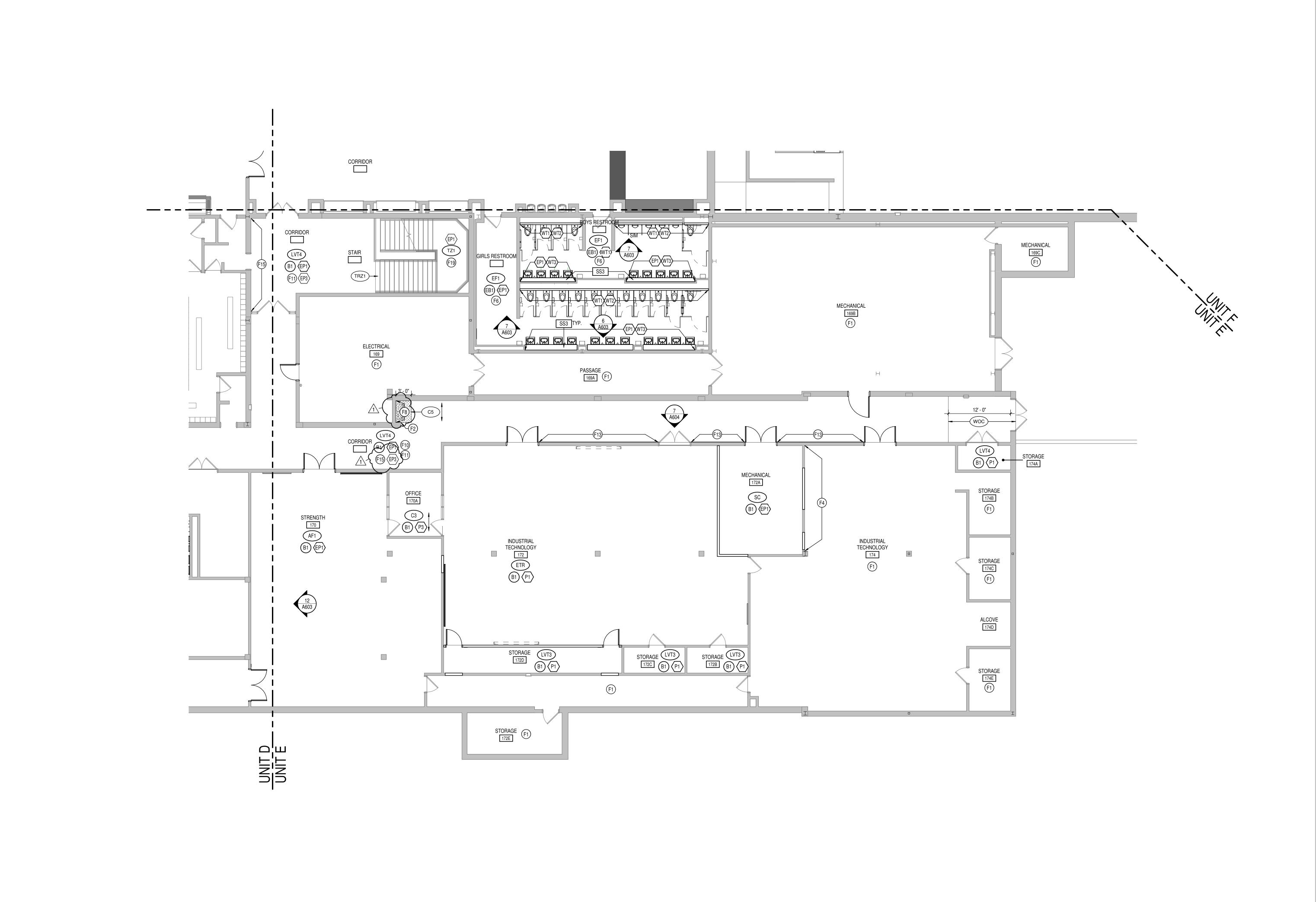
> # REVISIONS: ADDENDUM #1 06-25-2025

ISSUE DATE | DRAWN BY | CHECKED BY

06/04/2025 KLV DRAWING TITLE: LOWER LEVEL



DRAWING NUMBER A801D PROJECT NUMBER 2024017



1 LOWER LEVEL FINISH PLAN - UNIT E

A801E SCALE: 1/8" = 1'-0"

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- 15. ALL EXISTING METAL STAIR AND RAMP COMPONENTS, INCLUDING RAILINGS AND STRINGERS, TO BE ELECTROSTATICALLY PAINTED (EP2). 16. NEW WOOD DOORS TO MATCH EXISTING SPECIES AND STAIN OF EXISTING WOOD
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FINISH TAG KEY

(XXX) FLOOR FINISH

BASE FINISH

XX WALL FINISH

HORIZONTAL FINISH (COUNTERTOP) XXX VERTICAL FINISH (CASEWORK)

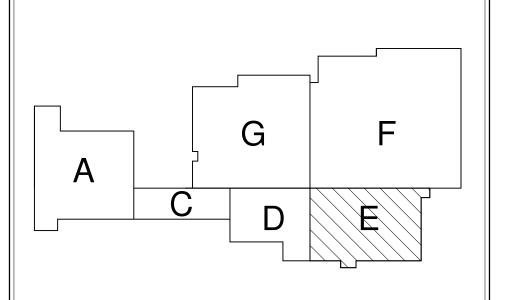
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- F10 REMOVE DIMENSIONAL SIGNAGE, DIRECTIONAL SIGNAGE, ATHLETIC MEMORABILIA, FLAGS, AND ANY OTHER BRANDING MATERIALS. REINSTALL AFTER FINISH WORK IS COMPLETE AT OWNER DIRECTION. WALL GRAPHICS EXISITNG TO REMAIN, U.N.O.; ENSURE PROTECTION DURING CONSTRUCTION.
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SCOPE DRAWINGS: These drawings indicate the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical and electrical systems.

The drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the Contract.

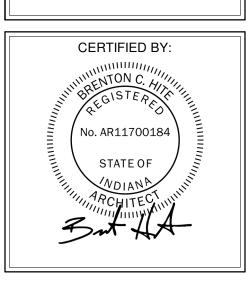
On the basis of the general scope indicated or describ the trade contractors shall furnish all items required for the proper execution and completion of the work.

> # REVISIONS: ADDENDUM #1 06-25-2025

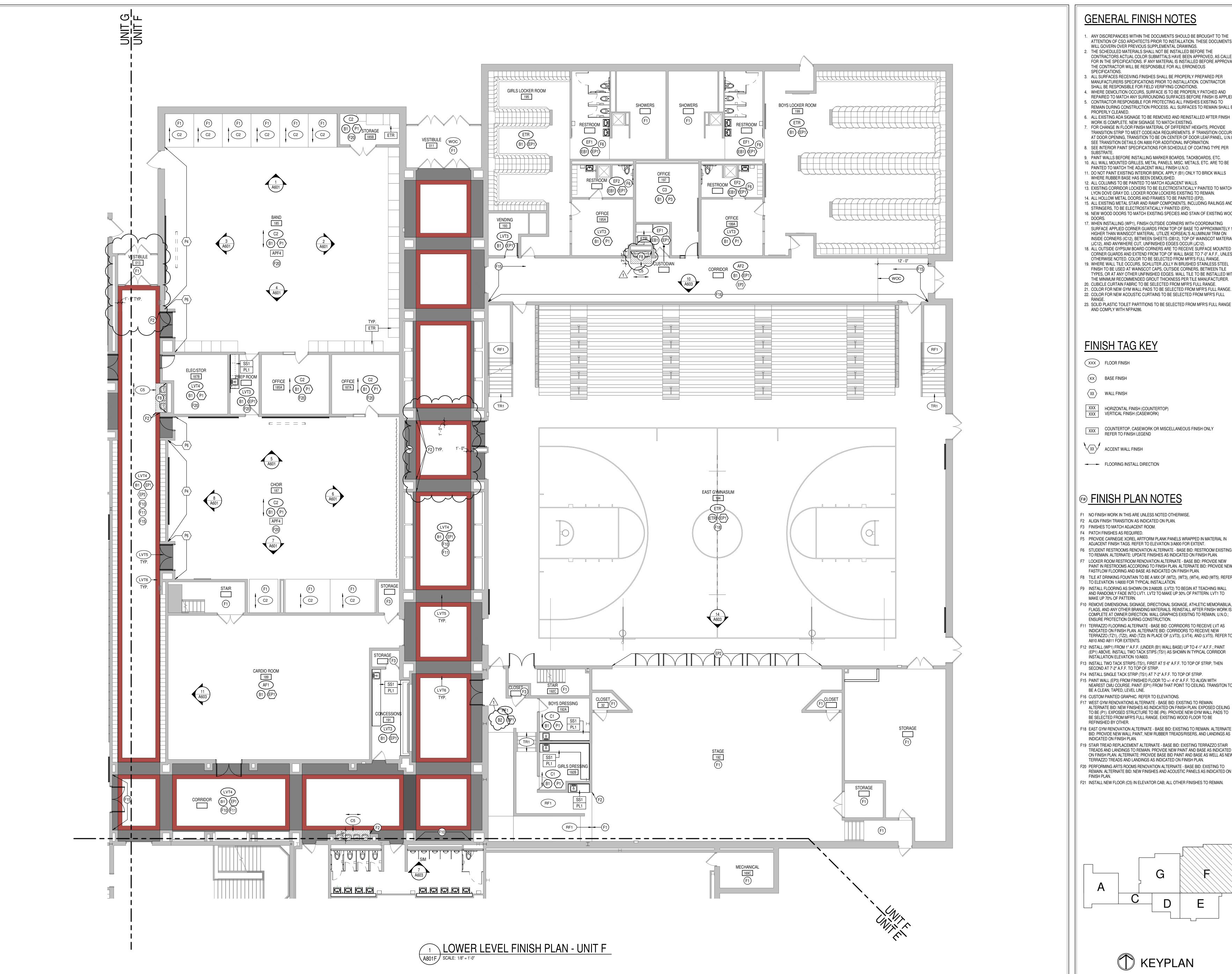
ISSUE DATE | DRAWN BY | CHECKED BY

KLV DRAWING TITLE:

06/04/2025



DRAWING NUMBER A801E PROJECT NUMBER 2024017



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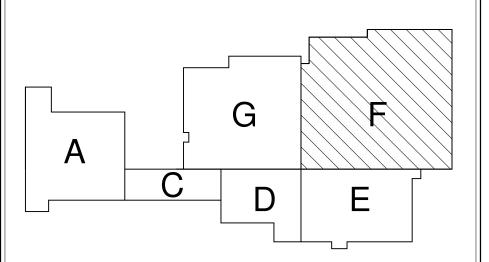
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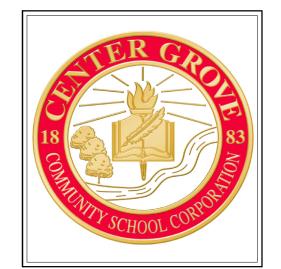
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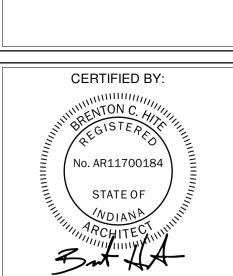
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ADDENDUM #1 06-25-2025

REVISIONS:

ISSUE DATE | DRAWN BY | CHECKED BY 06/04/2025 KLV

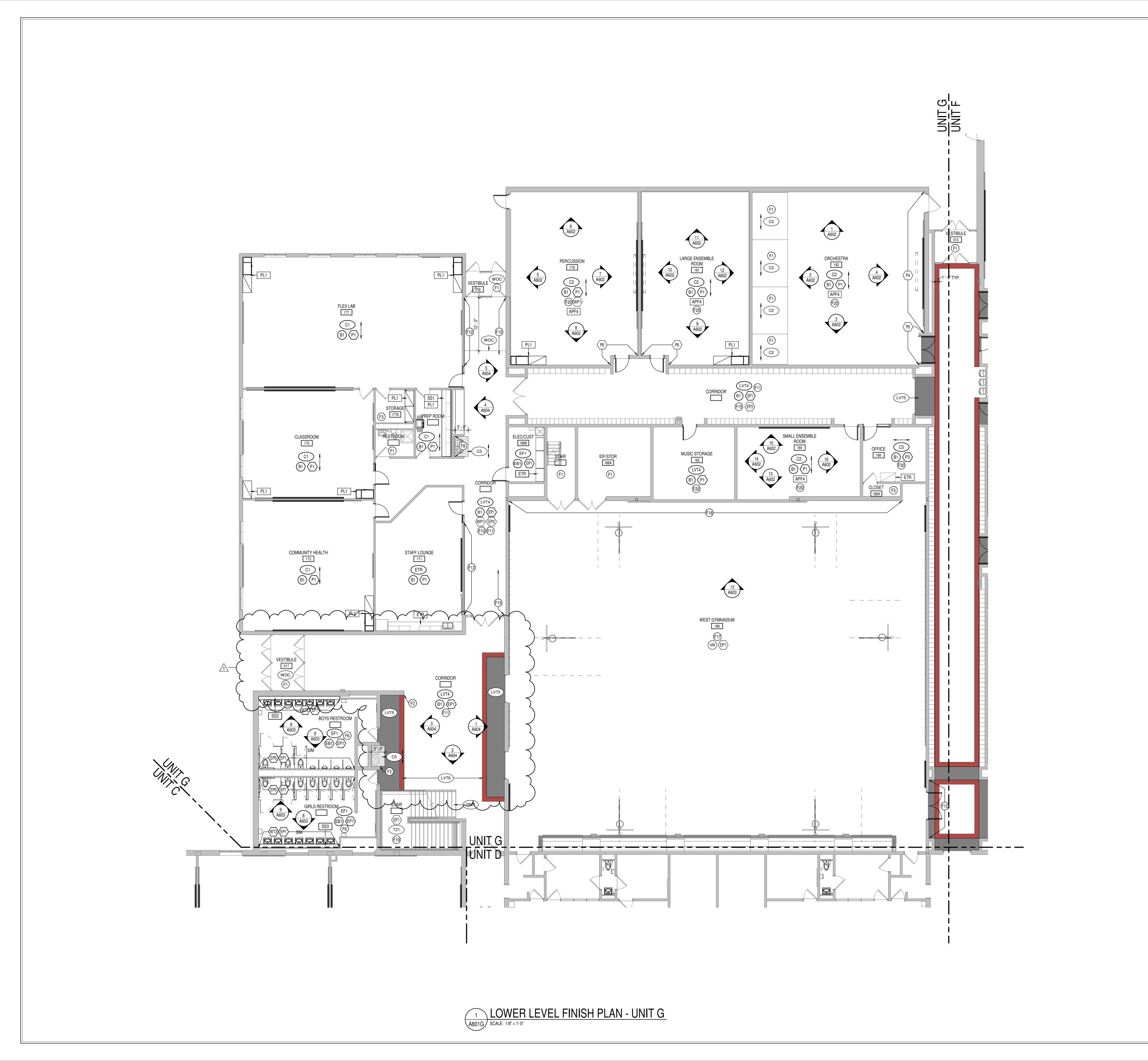
DRAWING TITLE: LOWER LEVEL



DRAWING NUMBER A801F

PROJECT NUMBER

2024017



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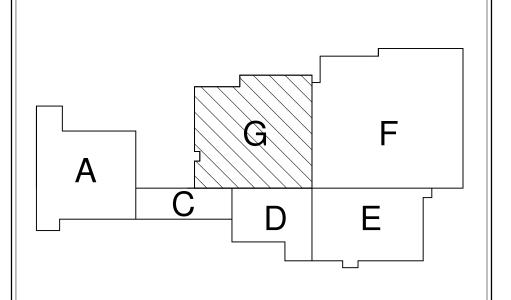
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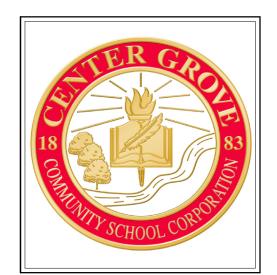
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(T) KEYPLAN



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SCHOOL CORPORATION
CENTER GROVE MS CENTRAL
RENOVATION
00 W STONES CROSSING RD, GREENWOO

SCOPE DRAWINGS:

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ADDENDUM #1 06-25-2025

REVISIONS:

ISSUE DATE | DRAWN BY | CHECKED BY

06/04/2025 KLV JSK

DRAWING TITLE:

LOWER LEVEL FINISH PLAN -UNIT G

CERTIFIED BY:

WO AR 11700184

STATE OF

WO IANA

WO IANA

ARCHITECT

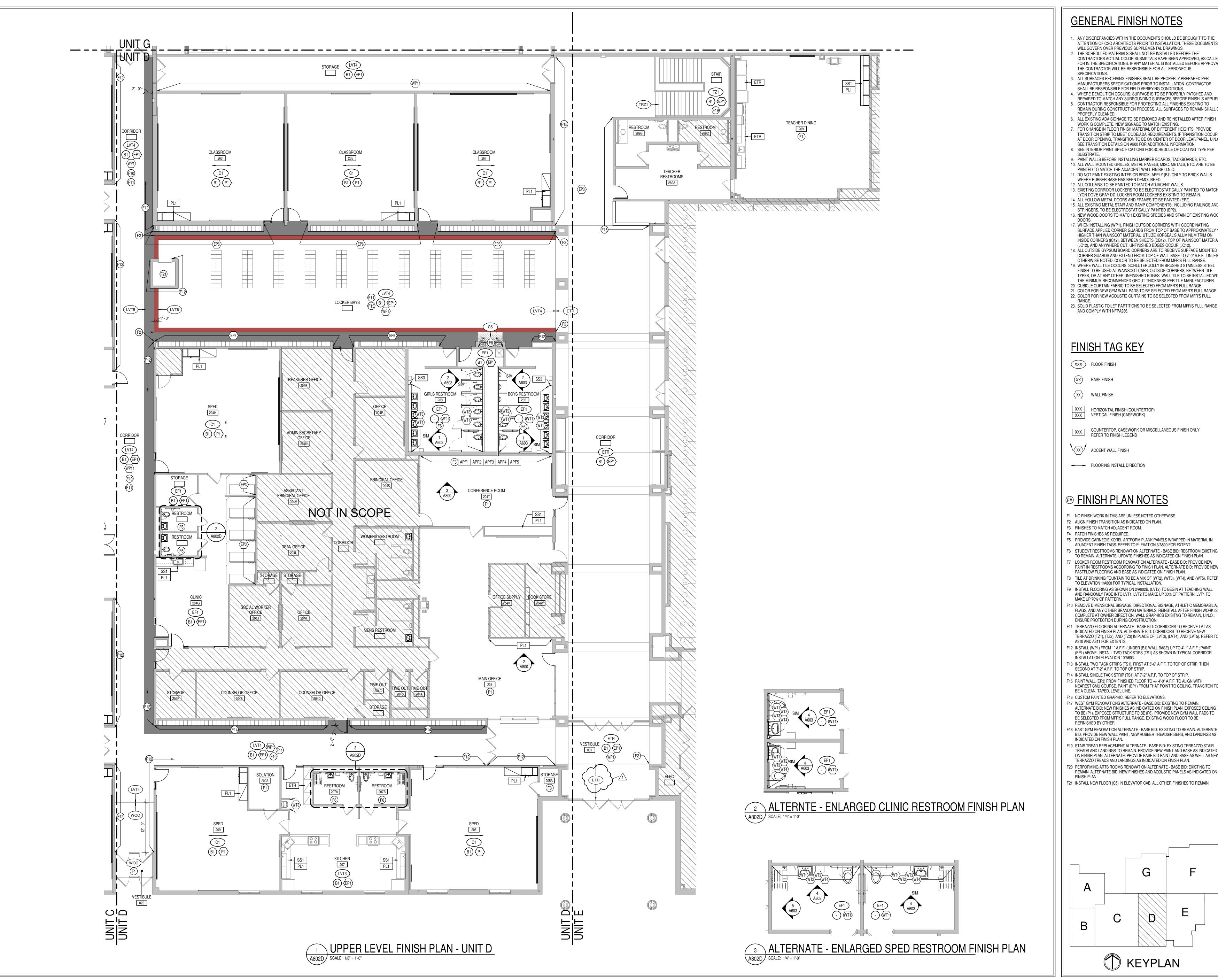
WO IANA

WO IA

DRAWING NUMBER
A801G

PROJECT NUMBER

2024017



- ANY DISCREPANCIES WITHIN THE DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF CSO ARCHITECTS PRIOR TO INSTALLATION, THESE DOCUMENTS
- WILL GOVERN OVER PREVIOUS SUPPLEMENTAL DRAWINGS. THE SCHEDULED MATERIALS SHALL NOT BE INSTALLED BEFORE THE CONTRACTORS ACTUAL COLOR SUBMITTALS HAVE BEEN APPROVED, AS CALLED FOR IN THE SPECIFICATIONS. IF ANY MATERIAL IS INSTALLED BEFORE APPROVAL, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL ERRONEOUS
- SPECIFICATIONS. 3. ALL SURFACES RECEIVING FINISHES SHALL BE PROPERLY PREPARED PER MANUFACTURERS SPECIFICATIONS PRIOR TO INSTALLATION. CONTRACTOR
- SHALL BE RESPONSIBLE FOR FIELD VERIFYING CONDITIONS. 4. WHERE DEMOLITION OCCURS, SURFACE IS TO BE PROPERLY PATCHED AND REPAIRED TO MATCH ANY SURROUNDING SURFACES BEFORE FINISH IS APPLIED.
- 5. CONTRACTOR RESPONSIBLE FOR PROTECTING ALL FINISHES EXISTING TO REMAIN DURING CONSTRUCTION PROCESS. ALL SURFACES TO REMAIN SHALL BE PROPERLY CLEANED. 6. ALL EXISTING ADA SIGNAGE TO BE REMOVED AND REINSTALLED AFTER FINISH
- WORK IS COMPLETE. NEW SIGNAGE TO MATCH EXISTING. FOR CHANGE IN FLOOR FINISH MATERIAL OF DIFFERENT HEIGHTS, PROVIDE TRANSITION STRIP TO MEET CODE/ADA REQUIREMENTS. IF TRANSITION OCCURS AT DOOR OPENING, TRANSITION TO BE ON CENTER OF DOOR LEAF/PANEL, U.N.O..
- SEE TRANSITION DETAILS ON A800 FOR ADDITIONAL INFORMATION. 8. SEE INTERIOR PAINT SPECIFICATIONS FOR SCHEDULE OF COATING TYPE PER
- 9. PAINT WALLS BEFORE INSTALLING MARKER BOARDS, TACKBOARDS, ETC. 10. ALL WALL MOUNTED GRILLES, METAL PANELS, MISC. METALS, ETC. ARE TO BE
- PAINTED TO MATCH THE ADJACENT WALL FINISH U.N.O. 11. DO NOT PAINT EXISTING INTERIOR BRICK. APPLY (B1) ONLY TO BRICK WALLS
- WHERE RUBBER BASE HAS BEEN DEMOLISHED. 12. ALL COLUMNS TO BE PAINTED TO MATCH ADJACENT WALLS.
- 13. EXISTING CORRIDOR LOCKERS TO BE ELECTROSTATICALLY PAINTED TO MATCH LYON DOVE GRAY DD. LOCKER ROOM LOCKERS EXISTING TO REMAIN. 14. ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED (EP2).
- 15. ALL EXISTING METAL STAIR AND RAMP COMPONENTS, INCLUDING RAILINGS AND STRINGERS, TO BE ELECTROSTATICALLY PAINTED (EP2). 16. NEW WOOD DOORS TO MATCH EXISTING SPECIES AND STAIN OF EXISTING WOOD
- 17. WHEN INSTALLING (WP1), FINISH OUTSIDE CORNERS WITH COORDINATING SURFACE APPLIED CORNER GUARDS FROM TOP OF BASE TO APPROXIMATELY 1" HIGHER THAN WAINSCOT MATERIAL. UTILIZE KORSEAL'S ALUMINUM TRIM ON INSIDE CORNERS (IC12), BETWEEN SHEETS (DB12), TOP OF WAINSCOT MATERIAL
- (JC12), AND ANYWHERE CUT, UNFINISHED EDGES OCCUR (JC12). 18. ALL OUTSIDE GYPSUM BOARD CORNERS ARE TO RECEIVE SURFACE MOUNTED CORNER GUARDS AND EXTEND FROM TOP OF WALL BASE TO 7'-0" A.F.F., UNLESS
- OTHERWISE NOTED. COLOR TO BE SELECTED FROM MFR'S FULL RANGE. 19. WHERE WALL TILE OCCURS, SCHLUTER JOLLY IN BRUSHED STAINLESS STEEL FINISH TO BE USED AT WAINSCOT CAPS, OUTSIDE CORNERS, BETWEEN TILE TYPES, OR AT ANY OTHER UNFINISHED EDGES. WALL TILE TO BE INSTALLED WITH THE MINIMUM RECOMMENDED GROUT THICKNESS PER TILE MANUFACTURER.
- 20. CUBICLE CURTAIN FABRIC TO BE SELECTED FROM MFR'S FULL RANGE. 21. COLOR FOR NEW GYM WALL PADS TO BE SELECTED FROM MFR'S FULL RANGE. 22. COLOR FOR NEW ACOUSTIC CURTAINS TO BE SELECTED FROM MFR'S FULL
- 23. SOLID PLASTIC TOILET PARTITIONS TO BE SELECTED FROM MFR'S FULL RANGE AND COMPLY WITH NFPA286.

FINISH TAG KEY

XXX FLOOR FINISH

XX BASE FINISH

XX WALL FINISH

HORIZONTAL FINISH (COUNTERTOP) VERTICAL FINISH (CASEWORK)

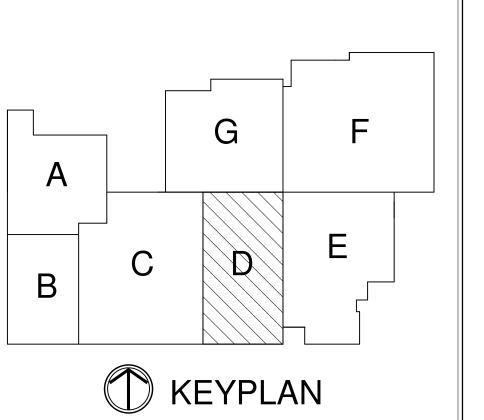
COUNTERTOP, CASEWORK OR MISCELLANEOUS FINISH ONLY REFER TO FINISH LEGEND

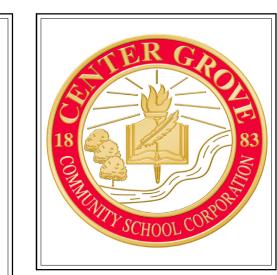
ACCENT WALL FINISH

FLOORING INSTALL DIRECTION

FINISH PLAN NOTES

- F1 NO FINISH WORK IN THIS ARE UNLESS NOTED OTHERWISE.
- F2 ALIGN FINISH TRANSITION AS INDICATED ON PLAN.
- F3 FINISHES TO MATCH ADJACENT ROOM. F4 PATCH FINISHES AS REQUIRED.
- F5 PROVIDE CARNEGIE XOREL ARTFORM PLANK PANELS WRAPPED IN MATERIAL IN ADJACENT FINISH TAGS. REFER TO ELEVATION 3/A800 FOR EXTENT. F6 STUDENT RESTROOMS RENOVATION ALTERNATE - BASE BID: RESTROOM EXISTING
- TO REMAIN. ALTERNATE: UPDATE FINISHES AS INDICATED ON FINISH PLAN. LOCKER ROOM RESTROOM RENOVATION ALTERNATE - BASE BID: PROVIDE NEW PAINT IN RESTROOMS ACCORDING TO FINISH PLAN. ALTERNATE BID: PROVIDE NEW
- FASTFLOW FLOORING AND BASE AS INDICATED ON FINISH PLAN. F8 TILE AT DRINKING FOUNTAIN TO BE A MIX OF (WT2), (WT3), (WT4), AND (WT5). REFER
- TO ELEVATION 1/A800 FOR TYPICAL INSTALLATION. F9 INSTALL FLOORING AS SHOWN ON 2/A802B. (LVT2) TO BEGIN AT TEACHING WALL AND RANDOMLY FADE INTO LVT1. LVT2 TO MAKE UP 30% OF PATTERN. LVT1 TO
- MAKE UP 70% OF PATTERN. F10 REMOVE DIMENSIONAL SIGNAGE, DIRECTIONAL SIGNAGE, ATHLETIC MEMORABILIA, FLAGS, AND ANY OTHER BRANDING MATERIALS. REINSTALL AFTER FINISH WORK IS COMPLETE AT OWNER DIRECTION. WALL GRAPHICS EXISITNG TO REMAIN, U.N.O.; ENSURE PROTECTION DURING CONSTRUCTION.
- F11 TERRAZZO FLOORING ALTERNATE BASE BID: CORRIDORS TO RECEIVE LVT AS INDICATED ON FINISH PLAN. ALTERNATE BID: CORRIDORS TO RECEIVE NEW TERRAZZO (TZ1), (TZ2), AND (TZ3) IN PLACE OF (LVT3), (LVT4), AND (LVT5). REFER TO A810 AND A811 FOR EXTENTS.
- F12 INSTALL (WP1) FROM 1" A.F.F. (UNDER (B1) WALL BASE) UP TO 4'-1" A.F.F.; PAINT (EP1) ABÒVE. ÍNSTALL TWO TACK STIPS (TS1) AS SHOWN IN TYPICAL CORRIDOR INSTALLATION ELEVATION 10/A603.
- F13 INSTALL TWO TACK STRIPS (TS1), FIRST AT 5'-6" A.F.F. TO TOP OF STRIP, THEN SECOND AT 7'-2" A.F.F. TO TOP OF STRIP.
- F14 INSTALL SINGLE TACK STRIP (TS1) AT 7'-2" A.F.F. TO TOP OF STRIP. F15 PAINT WALL (EP3) FROM FINISHED FLOOR TO +/- 4'-0" A.F.F. TO ALIGN WITH NEAREST CMU COURSE. PAINT (EP1) FROM THAT POINT TO CEILING. TRANSITON TO
- BE A CLEAN, TAPED, LEVEL LINE. F16 CUSTOM PAINTED GRAPHIC. REFER TO ELEVATIONS. F17 WEST GYM RENOVATIONS ALTERNATE - BASE BID: EXISTING TO REMAIN.
- ALTERNATE BID: NEW FINISHES AS INDICATED ON FINISH PLAN. EXPOSED CEILING TO BE (P1). EXPOSED STRUCTURE TO BE (P6). PROVIDE NEW GYM WALL PADS TO BE SELECTED FROM MFR'S FULL RANGE. EXISTING WOOD FLOOR TO BE REFINISHED BY OTHER.
- F18 EAST GYM RENOVATION ALTERNATE BASE BID: EXISTING TO REMAIN. ALTERNATE BID: PROVIDE NEW WALL PAINT, NEW RUBBER TREADS/RISERS, AND LANDINGS AS INDICATED ON FINISH PLAN. 19 STAIR TREAD REPLACEMENT ALTERNATE - BASE BID: EXISTING TERRAZZO STAIR
- ON FINISH PLAN. ALTERNATE: PROVIDE BASE BID PAINT AND BASE AS WELL AS NEW TERRAZZO TREADS AND LANDINGS AS INDICATED ON FINISH PLAN. F20 PERFORMING ARTS ROOMS RENOVATION ALTERNATE - BASE BID: EXISTING TO
- REMAIN. ALTERNATE BID: NEW FINISHES AND ACOUSTIC PANELS AS INDICATED ON
- F21 INSTALL NEW FLOOR (C5) IN ELEVATOR CAB; ALL OTHER FINISHES TO REMAIN.





SCOPE DRAWINGS: proper execution and completion of the work.

ADDENDUM #1 06-25-2025

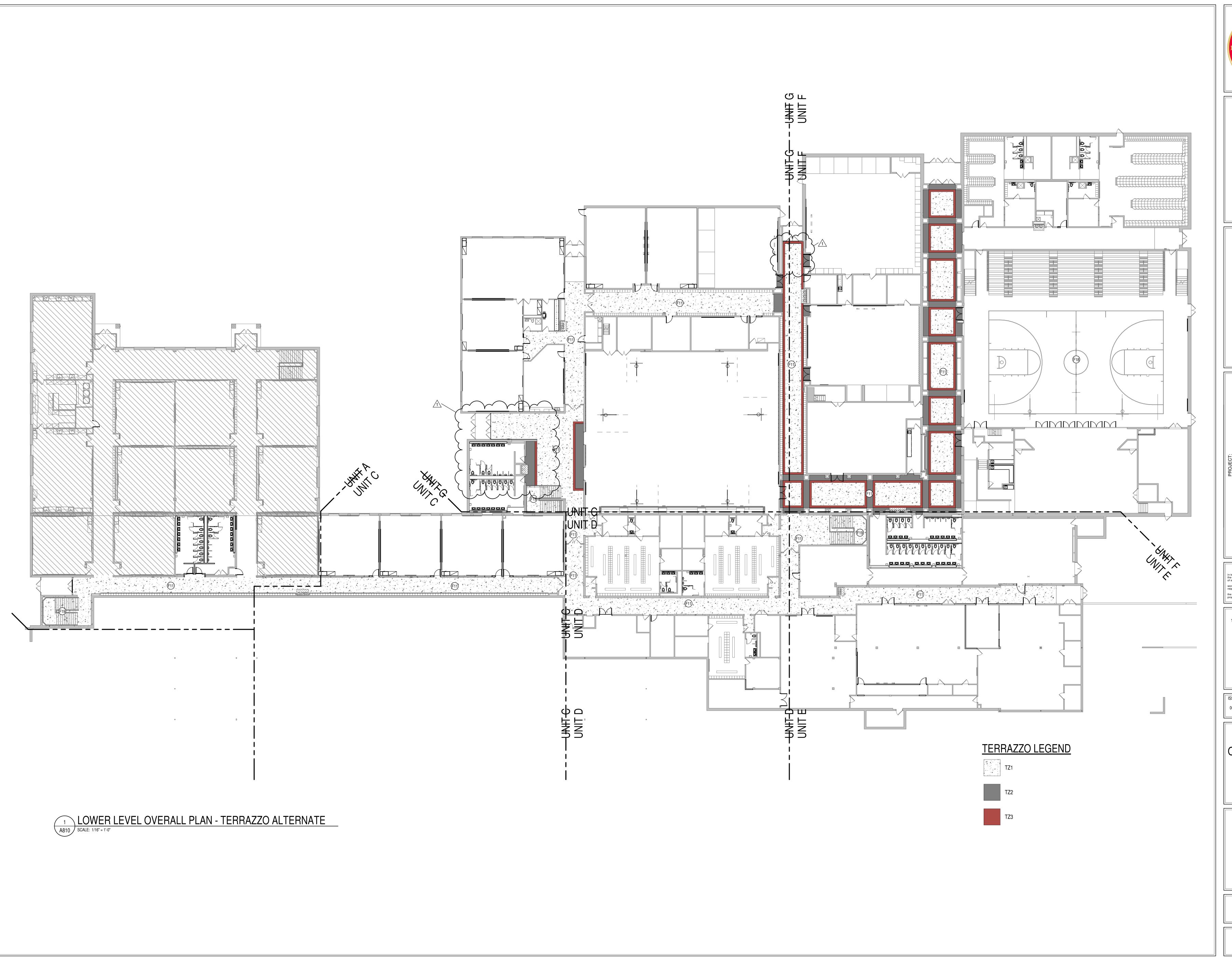
ISSUE DATE | DRAWN BY | CHECKED BY 06/04/2025 KLV

DRAWING TITLE: **UPPER LEVEL** FINISH PLAN -UNIT D

CERTIFIED BY: No. AR11700184 STATEOF

DRAWING NUMBER A802D PROJECT NUMBER

2024017





S831 Keystone Crossing, Indianapolis, IN 46240

CENTER GROVE COMMUNITY
SCHOOL CORPORATION
CENTER GROVE MS CENTRAL
RENOVATION
W STONES CROSSING RD, GREENWOOI

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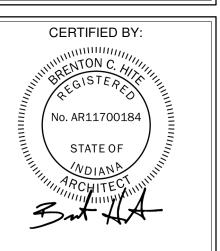
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DRAWING TITLE:

LOWER LEVEL

OVERALL PLAN
TERRAZZO

ALTERNATE



A810